

Guide To Deck Permits

Fees

- **\$75.75 Building Permit** (This includes a 1% State of Ohio Fee)
- **\$40.00 Zoning**
- This fee is collected once a permit has been issued and is not required at the time of the application.

Application Requirements

- Completion of an application form furnished by the building department.
- Two (2) sets of plans of sufficient clarity to indicate how the proposed deck will be constructed. (*see plan requirements*)
- Two (2) plot plans/site plans showing the location of the proposed deck, existing structures, and the distances from the property/lot lines.

Action on the Application

- The building and zoning departments will examine the application and plans of the proposed deck within two weeks or ten working days.
- If the application and plans of the proposed deck conform to the building and zoning codes, the applicant is notified and a deck permit is issued. The applicant shall pick up one set of the approved plans and pay the permit fees prior to the start of construction.
- If the application and plans of the proposed deck do not conform to the building and zoning codes, the applicant is notified and the reasons for the disapproval will be given in writing.

Inspections

- **Footing** – After the excavation of the post holes. Prior to placement of concrete and the start of the framing.
- **Framing** – Before the installation of the deck floor boards. After the installation of all structural framing members.
- **Final Inspection** – After the completion of the deck. All stairs, handrails, and guardrails (if required) shall be installed.

Time Limitations

- Work shall commence within twelve (12) months of the approval of the residential construction documents. One extension shall be granted for an additional twelve-month period if requested by the owner at least ten days in advance of the expiration of the approval and upon payment of a fee not to exceed one hundred dollars. If in the course of construction, work is delayed or suspended for a time period of six (6) months, the approval of the plans or drawings is invalid. Two extensions shall be granted for six months each if requested by the owner at least ten days in advance of the expiration of the approval and upon payment of a fee for each extension.

Have Questions or Need Help

- If you have questions regarding zoning issues such as where the deck can be located, how far from the property line, and the size of the deck, please contact Lisa LaMantia at 901-6661 or Jeff Buehler at 901-6659.
- If you have questions regarding building issues such as how to design or construct the deck or questions regarding the sample drawings contained in this guide please call 901-6650 and ask to speak with a building inspector.

Plan Requirements

Post Hole Layout – see sheet #1 for a layout of a deck that is partially supported by an existing dwelling. Sheet #2 is a layout of a deck that is completely self supported. The post layout shall include dimensions between each post hole and the distance between post holes and the existing dwelling.

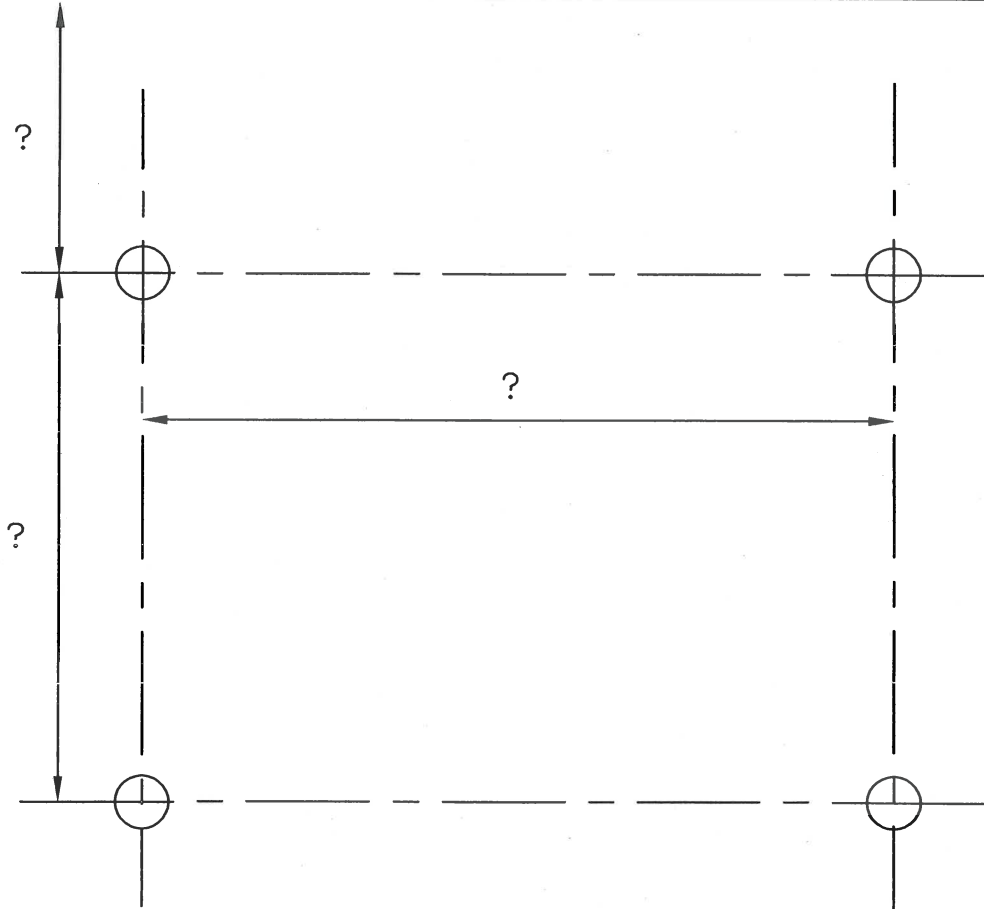
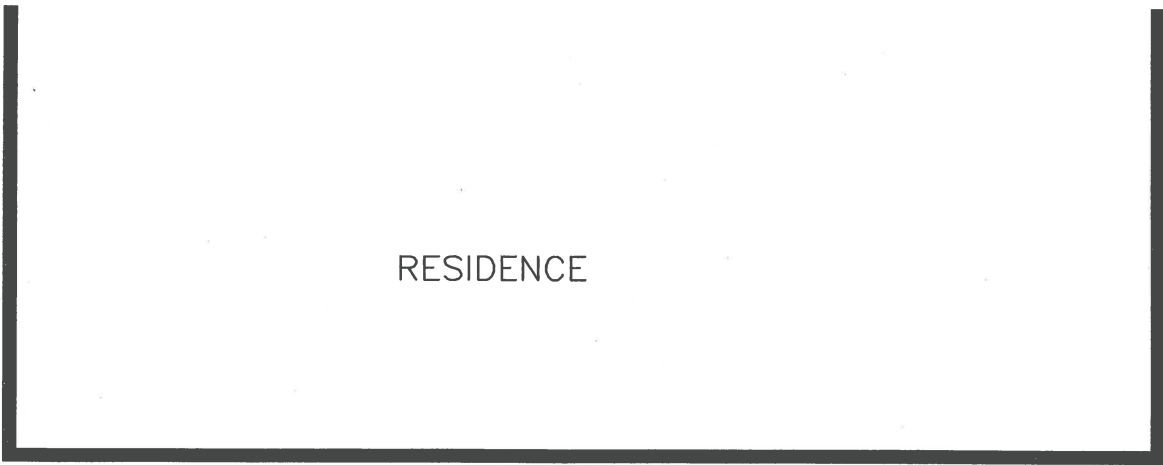
Post Hole Section – see sheet #3 for a typical post hole section. The post hole shall be 36” deep and be sized according to Table R403.5 of the 2013 Residential Code of Ohio. The post shall bear on top of, a minimum of 8 inches of concrete; the remaining portion of the post hole may be filled with gravel or dirt. If the applicant desires, they may fill the entire post hole with concrete, however the post shall bear on top of the concrete in an approved anchoring device.

Framing Plan – see sheet #4 the framing plan shall include floor joist size, floor joist spacing, beam(s) size, and overall deck dimensions.

Framing Sections – The framing sections shall include connections of the beam(s) to the posts. Sheet #5 shows a typical beam connection to a post. If the applicant intends on supporting one end of the floor joists using the existing dwelling, sheet #6 provides a typical ledger board section with anchorage requirements. If the applicant will be using both types of support the plan submittal shall include both framing sections such as sheets 5 & 6.

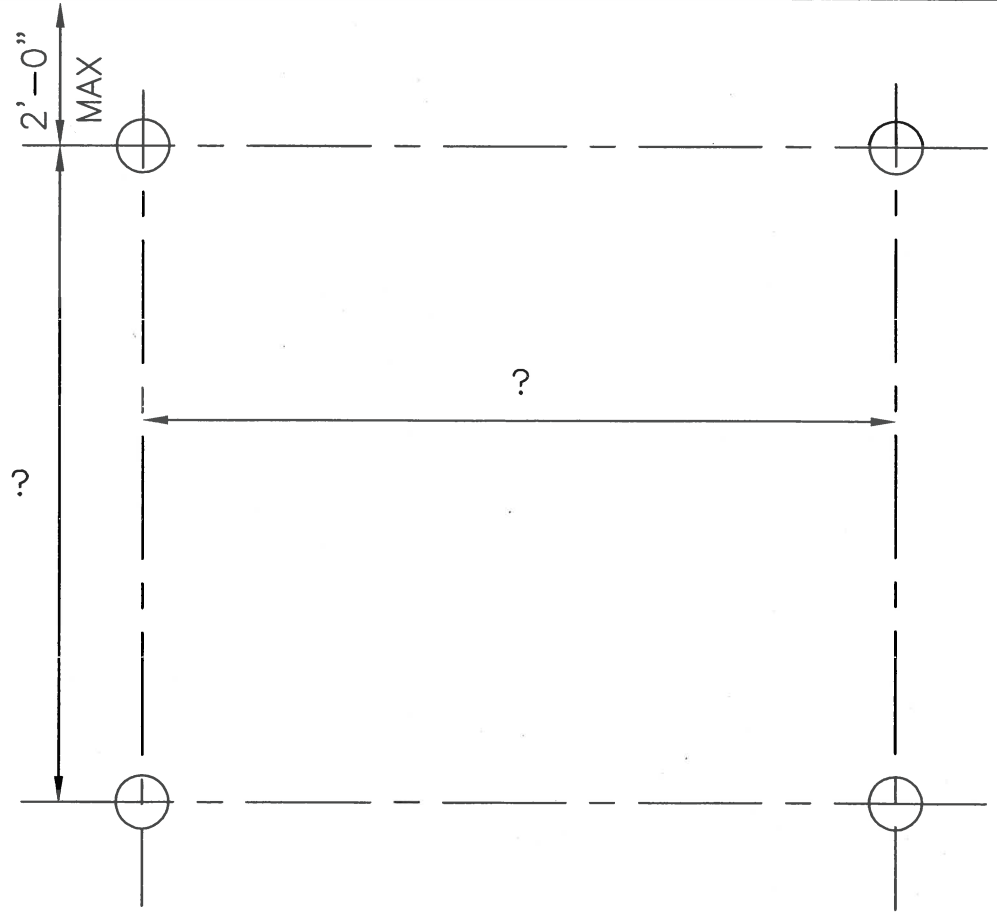
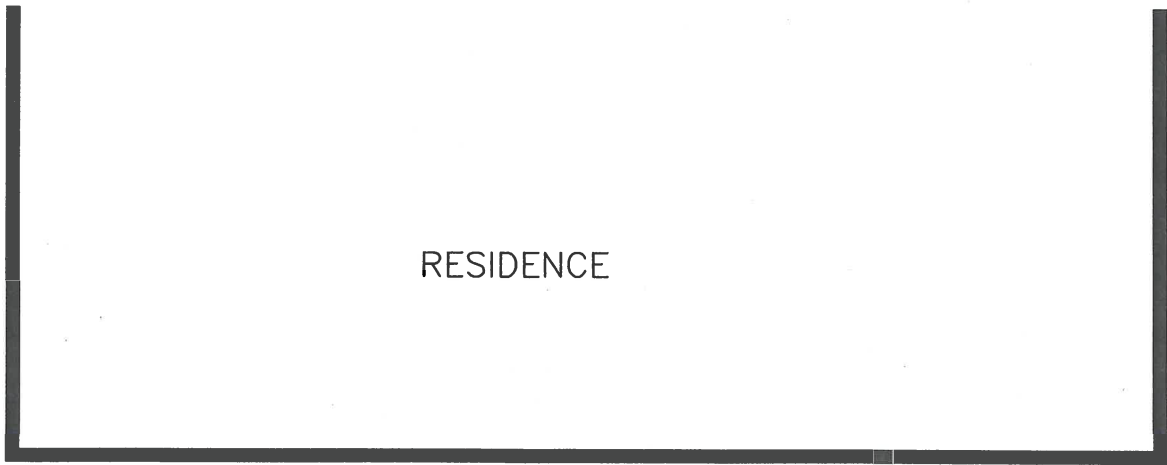
Deck Elevation – The deck elevation shall show the height of the deck surface from the adjacent grade. If the deck is 30 inches or greater than the adjacent grade, a guardrail system shall be shown on the plans. Guardrails shall be 36 inches high and shall have balusters that will not allow the passage of a 4 inch sphere.

Stair Details – The plans shall show a typical stair detail. Stairs shall have riser heights that do not exceed $8 \frac{1}{4}$ inches. Additionally, riser heights on stairs shall not vary more than $\frac{3}{8}$ of an inch. For instance if your deck is 21 inches above grade, you may install stairs that have (3) 7 inch risers. ((2) 8 inch risers and (1) 5 inch riser would be prohibited because the risers vary more than $\frac{3}{8}$ of an inch.) Stair treads shall be a minimum of 9 inches. See sheet #8 for typical stair details. Stairs that have (4) or more risers shall have handrails installed, if the stairs have a total rise of 30 inches or more guardrails are required, which would require balusters beneath the handrail, spaced to not allow the passage of a 4 inch sphere.



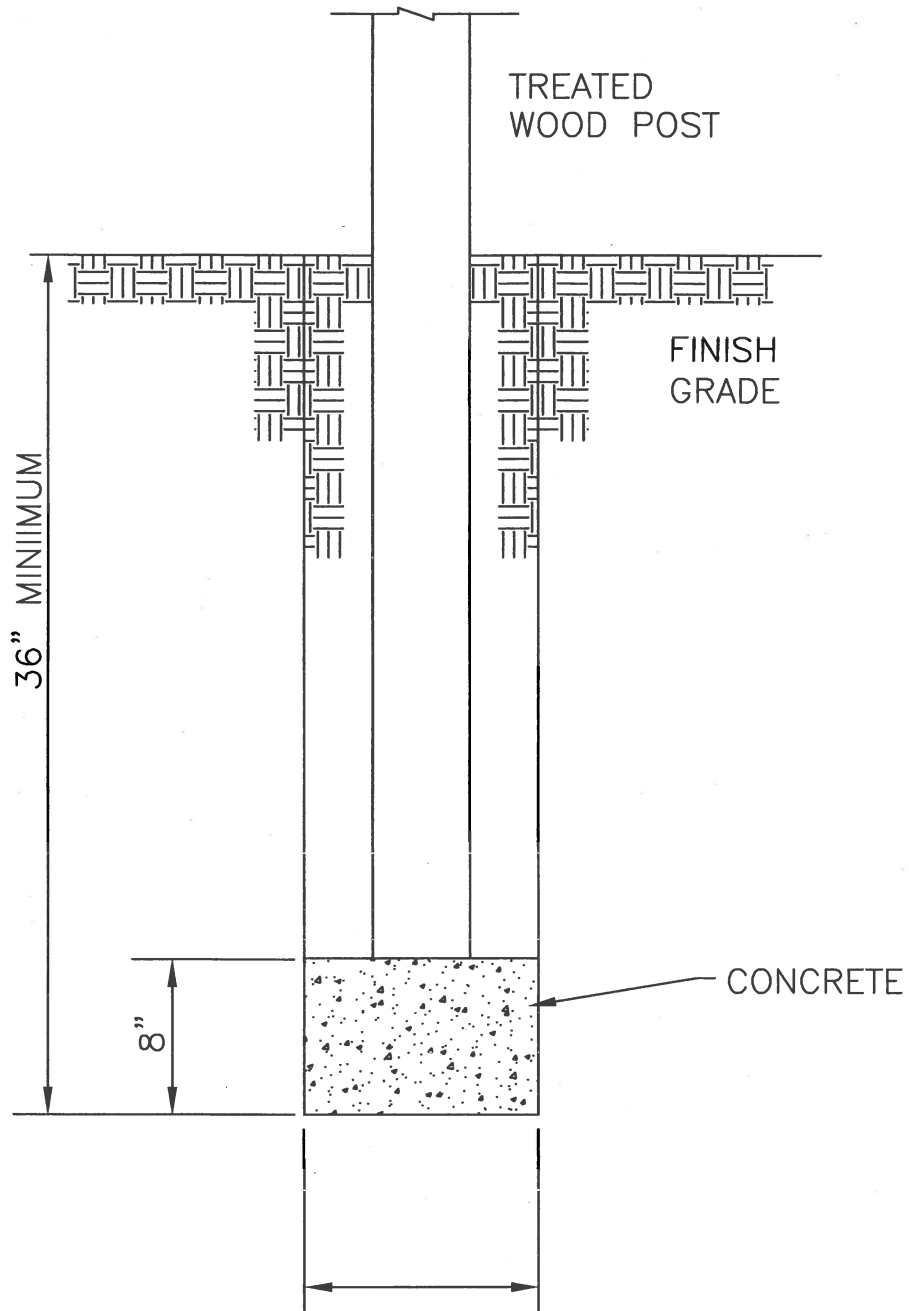
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		POST HOLE LAYOUT STANDARD		CITY OF WESTERVILLE PLANNING AND DEVELOPMENT DEPT. BUILDING DIVISION	
06/28/06				SHEET <u>1</u>	
DATE				OF <u>8</u>	



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		POST HOLE LAYOUT SELF SUPPORTING	CITY OF WESTERVILLE PLANNING AND DEVELOPMENT DEPT. BUILDING DIVISION	
06/28/06				SHEET <u>2</u> OF <u>8</u>
DATE				

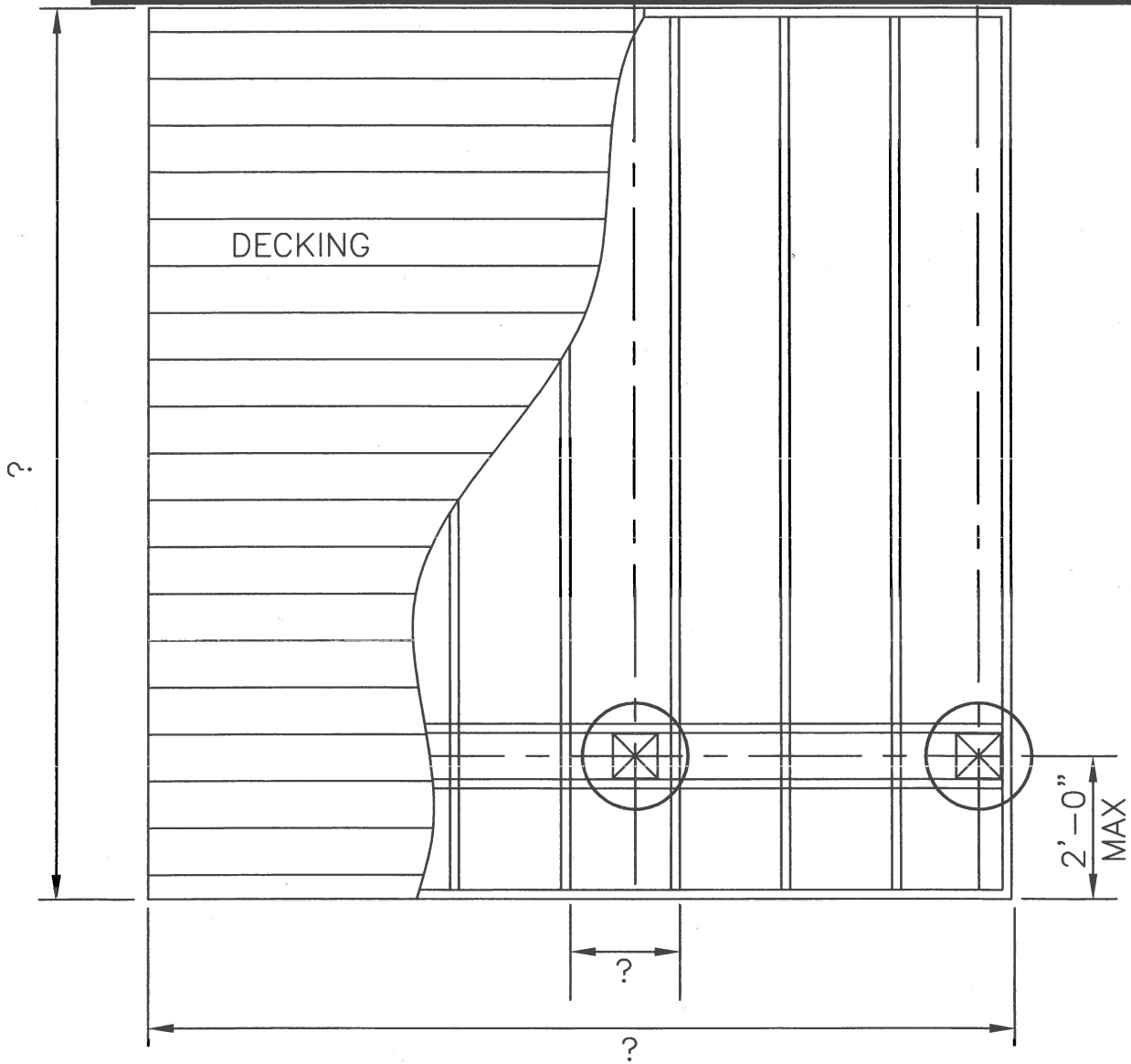


DIMENSION PER TABLE R403.4 OF THE OHIO RESIDENTIAL CODE

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		POST HOLE SECTION		CITY OF WESTERVILLE PLANNING AND DEVELOPMENT DEPT. BUILDING DIVISION	
06/28/06				SHEET <u>3</u>	
DATE				OF <u>8</u>	

RESIDENCE



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FLOOR JOIST SIZE?
BEAM SIZE?

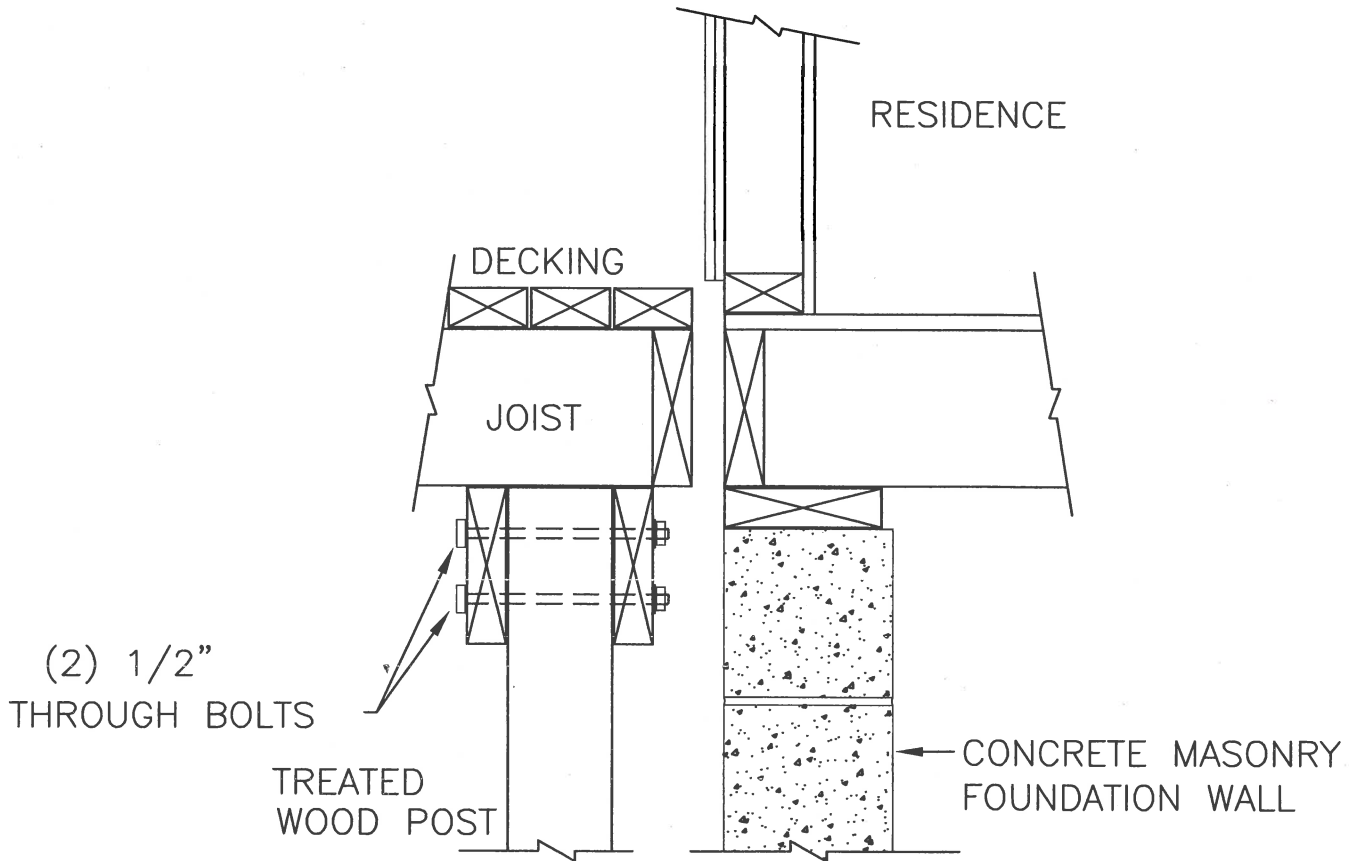
FRAMING PLAN

CITY OF WESTERVILLE
PLANNING AND DEVELOPMENT DEPT.
BUILDING DIVISION

06/28/06

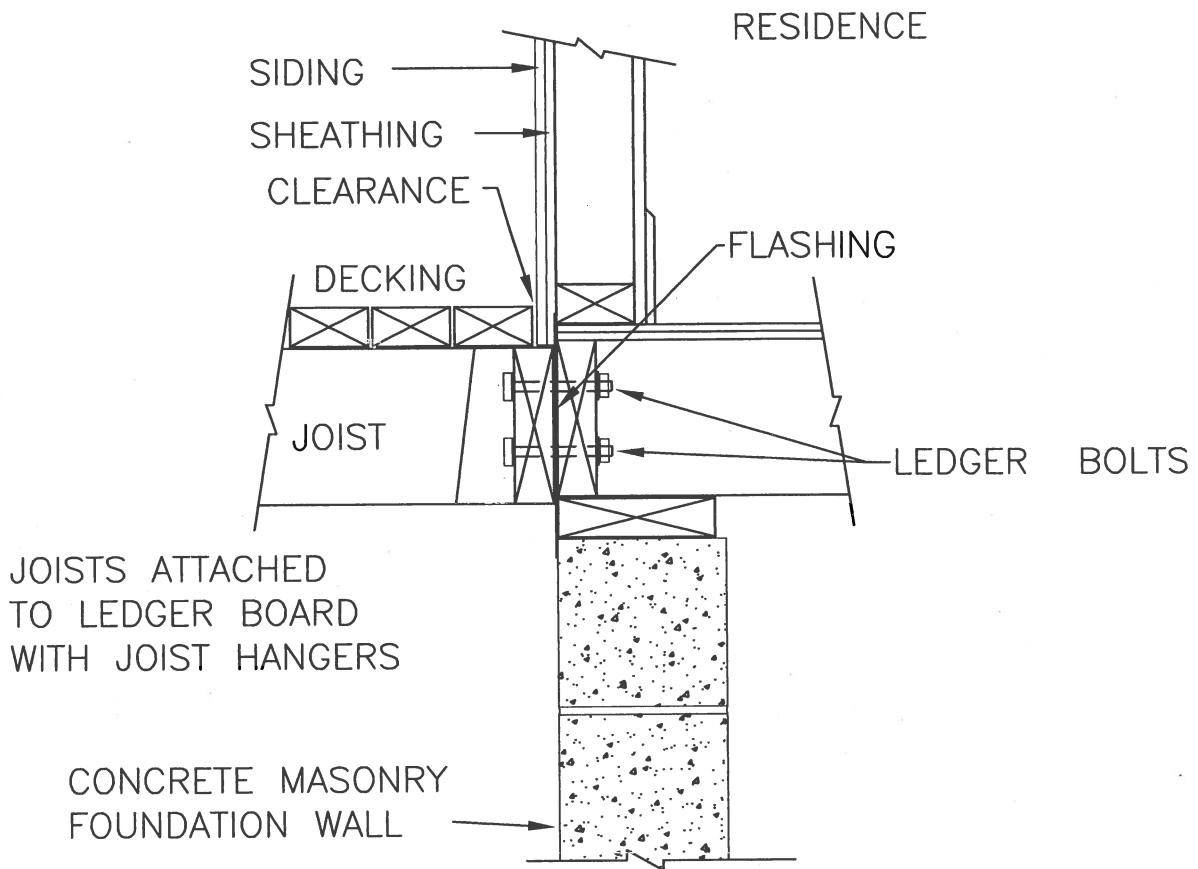
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SHEET 4
OF 8



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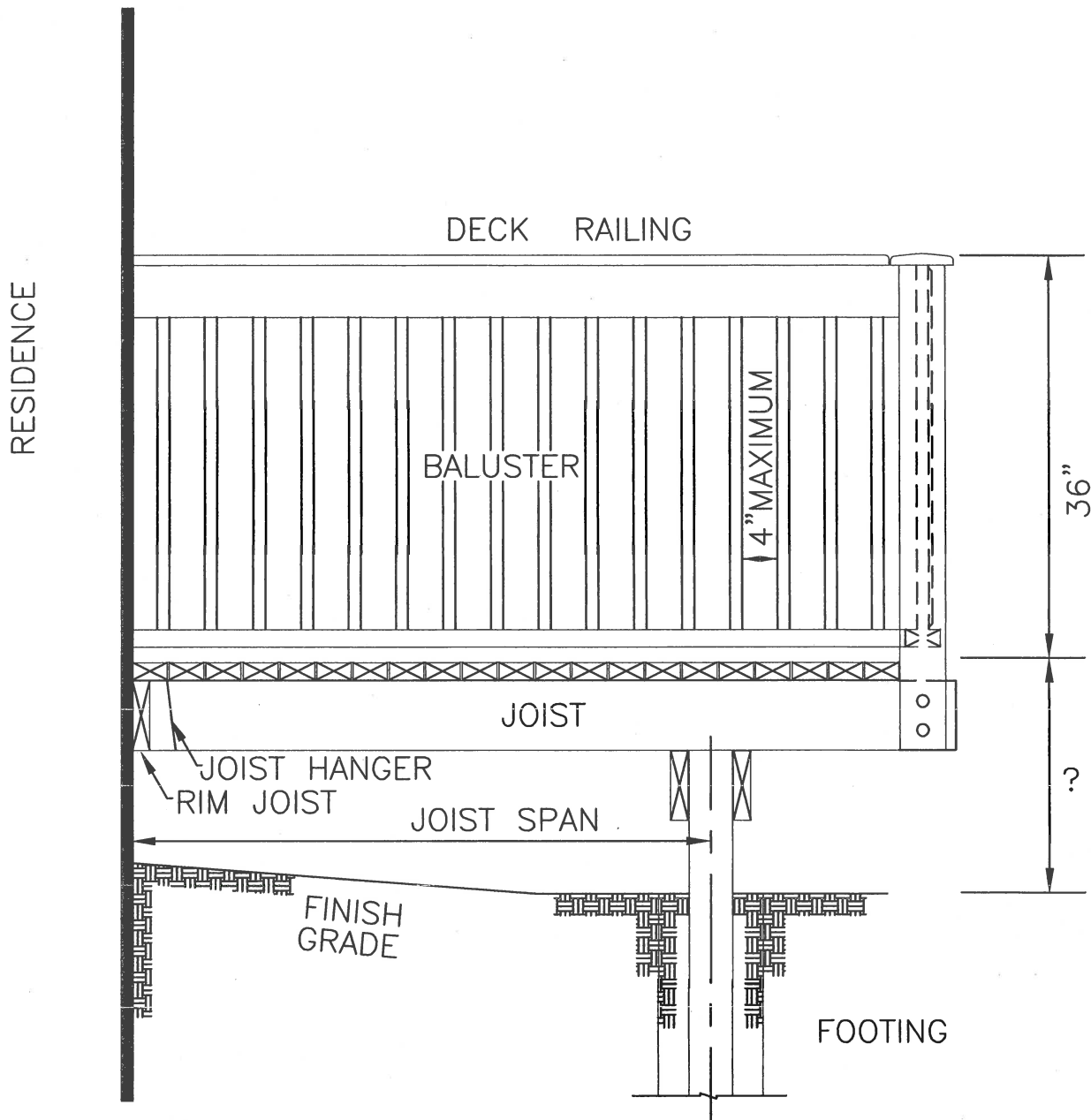
		FRAMING SECTION FLOATING		CITY OF WESTERVILLE PLANNING AND DEVELOPMENT DEPT. BUILDING DIVISION	
06/28/06				SHEET <u>5</u>	
DATE				OF <u>8</u>	



JOIST SPAN	LEDGER BOLT SIZE AND SPACING
10 FT.	1/2" @ 2'-0"
	7/8" @ 2'-9"
10-15 FT.	1/2" @ 1'-4"
	7/8" @ 2'-0"
15-20 FT.	1/2" @ 1'-0"
	7/8" @ 1'-6"

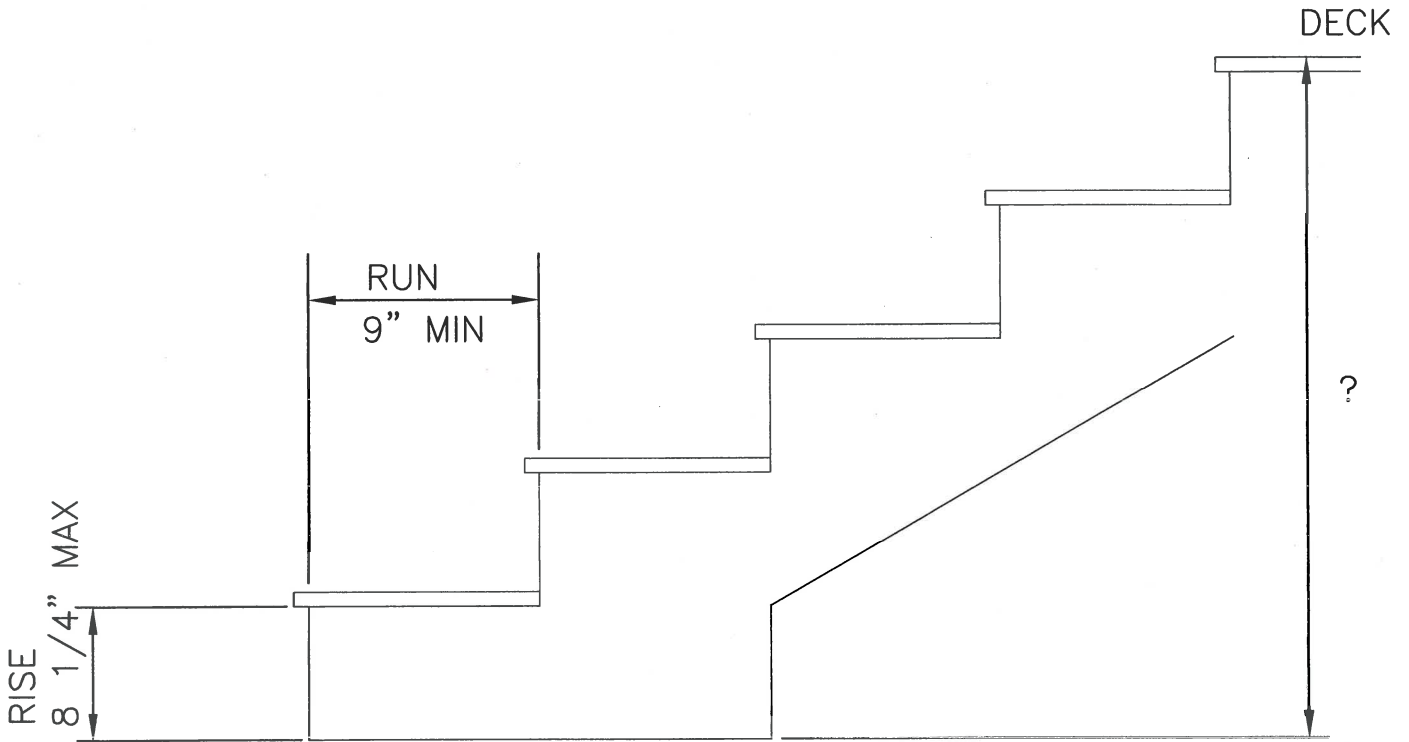
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		FRAMING SECTION STANDARD		CITY OF WESTERVILLE PLANNING AND DEVELOPMENT DEPT. BUILDING DIVISION	
06/28/06				SHEET <u>6</u>	
DATE				OF <u>8</u>	



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		CITY OF WESTERVILLE PLANNING AND DEVELOPMENT DEPT. BUILDING DIVISION	
DECK ELEVATION			
06/28/06 DATE			SHEET <u>7</u> OF <u>8</u>



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		STAIR DETAIL		CITY OF WESTERVILLE PLANNING AND DEVELOPMENT DEPT. BUILDING DIVISION	
06/28/06				SHEET <u>8</u>	
DATE				OF <u>8</u>	

Table R403.4
Minimum Footing Size For Deck Footings
Without Roof Loads

Exterior Deck and Porch Footing Size in Inches (a,b)

Diameter	Square	Maximum Tributary Area Allowed Per Post (square feet)
8	8 x 8	14
10	9 x 9	22
12	11 x 11	31.6
14	13 x 13	42.8
16	15 x 15	56
18	16 x 16	70.8
20	18 x 18	87.2

- a. Based upon 2000lbs. per square foot soil bearing capacity
- b. Based upon 40lbs. per square foot live load and a 10lbs. per square foot dead load